

HOUSE & LAND (Single Contract)

# Lot 2

Herald Street, Kallangur

4 BED, 2 BATH, 2 CAR + 2 Living



**Land** 375m<sup>2</sup>

**House** 196 m<sup>2</sup>

**Package Price**

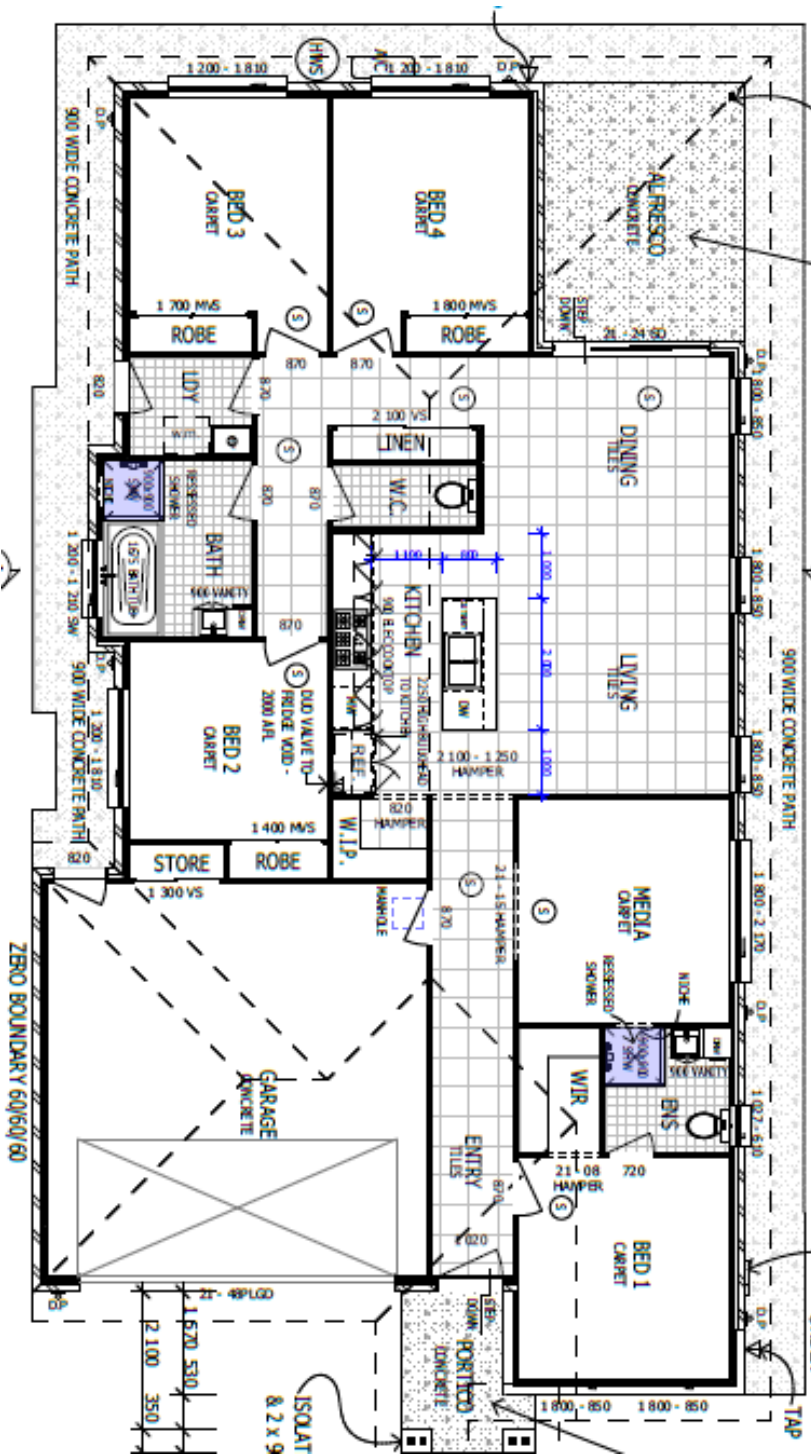
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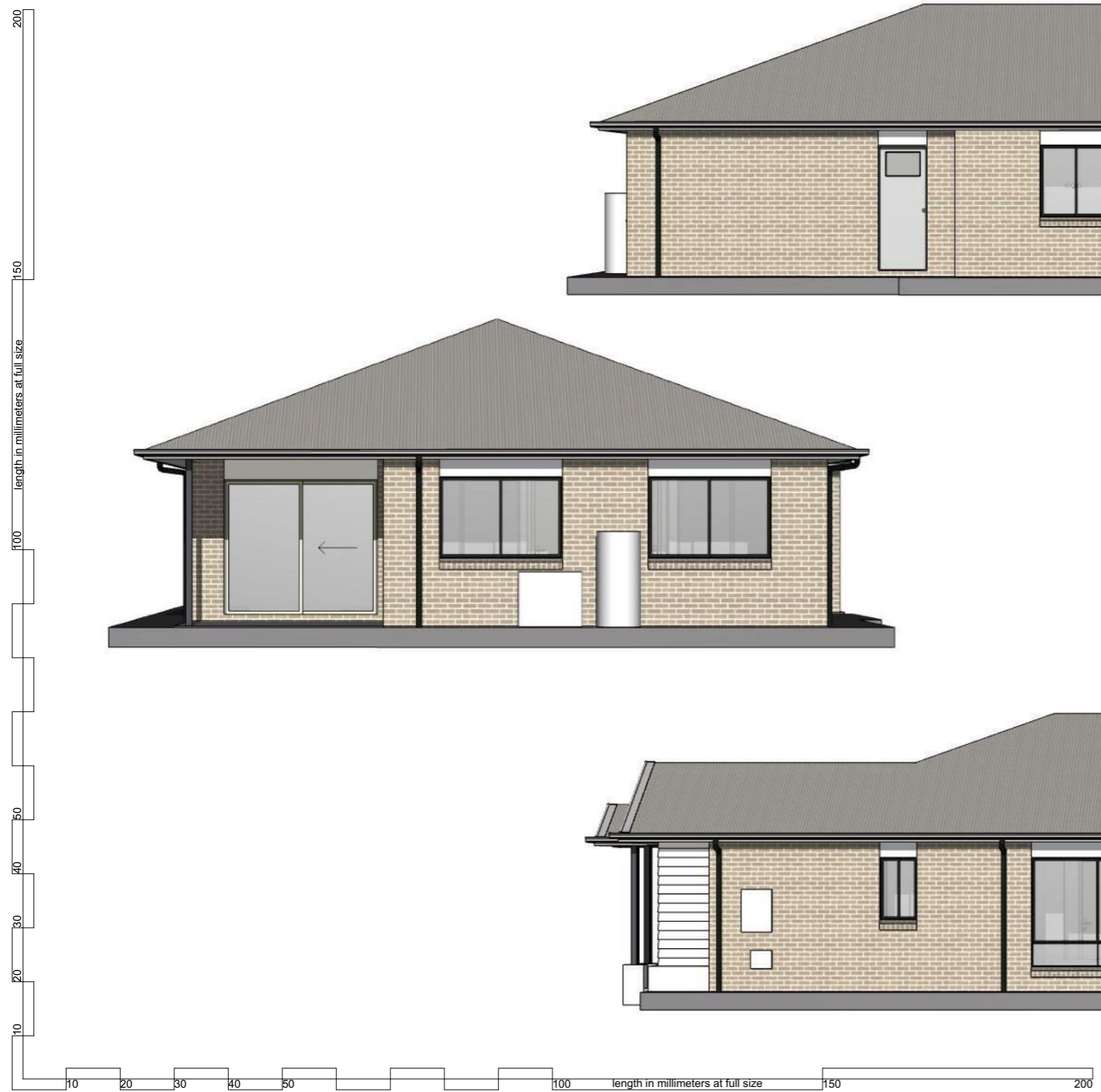
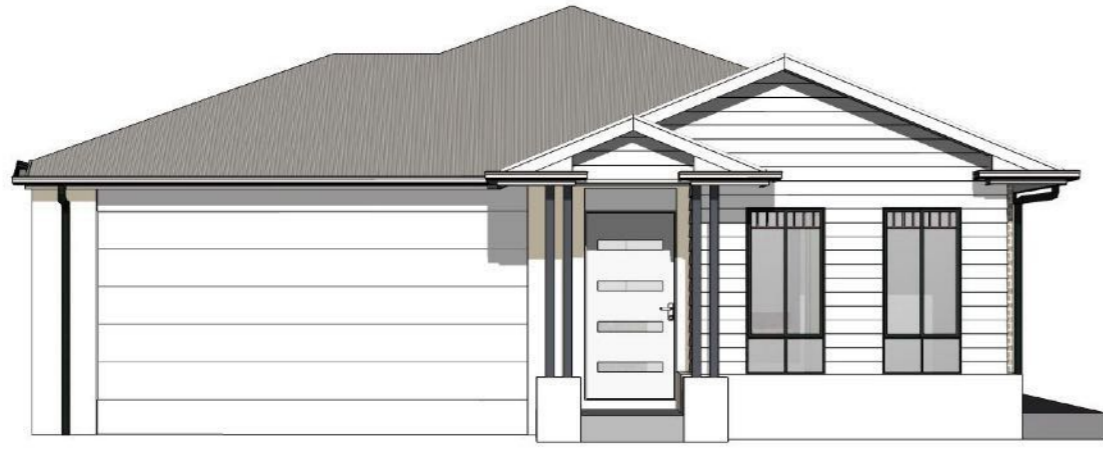
**\$1,150,000**

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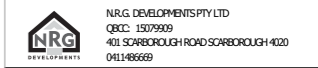
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 OWNER: \_\_\_\_\_  
 BUILDER: \_\_\_\_\_  
 DATE: \_\_\_\_ / \_\_\_\_ / 2024

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NOTES:  
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Client  
 Project Name  
**THE THOMPSON 198 LHS**  
 Facade  
**GABLE ROOF FACADE C**  
 Version  
**V NCC 23**  
 Revision  
**R1 15-8-24**  
 Lot Designation  
**LOT 2 HERALD STREET**  
**LOT 2 HERALD STREET KALLANGUR**

Drawing Title:  
**COVER SHEET**

Scale: as noted Date: 15/08/2024  
 Status: CONSTRUCTION Drawn By: NRG

Project No: \_\_\_\_\_ Drawing No.:  
 - - - - **1 OF 9**

Plot Date: 15/08/2024

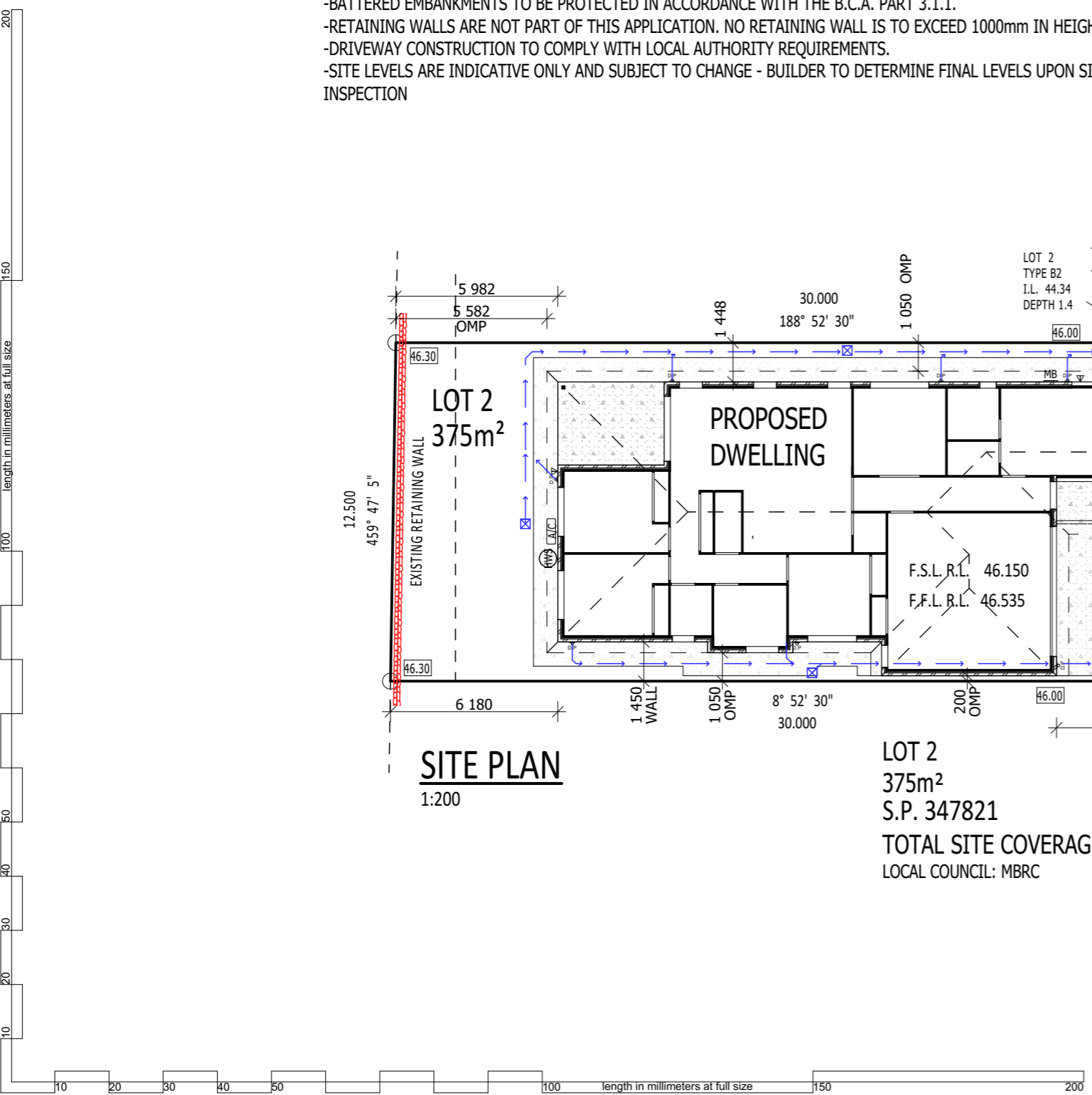
**CONSTRUCTION**

**SITE NOTES:**

- STORMWATER AND ONSITE DRAINAGE TO COMPLY WITH AS.3500 AND THE BCA, PARTS 3.1.2 AND 3.5.2.
- ROOF WATER TO DISCHARGE TO STREET AT FRONT VIA. 100mm UPVC S.W. LINE, MIN 1:100 FALL
- DP DENOTES 90mm DIA. UPVC DOWNPIPE WASTE WATER DISCHARGE TO COUNCIL CONNECTION PROVIDED OR STREET KERB CHANNEL. 100mm DIA.
- STORMWATER PIPES TO BE LAID AT 1 IN 100 AND SHOULD NOT CARRY MORE THAN 450 L/MIN, OR 100m<sup>2</sup> OF ROOF CATCHMENT. MULTIPLE 100mm DIA. PIPES MAY BE REQUIRED TO COMPLY WITH AS.3500 + B.C.A.
- 1m WIDE DRY AREA AROUND BUILDING PERIMETER U.N.O.
- ALL DIMENSIONS SHOWN TO O.M.P. DRIVEWAY/PATHS SHOWN ARE INDICATIVE ONLY.
- BATTERED EMBANKMENTS TO BE PROTECTED IN ACCORDANCE WITH THE B.C.A. PART 3.1.1.
- RETAINING WALLS ARE NOT PART OF THIS APPLICATION. NO RETAINING WALL IS TO EXCEED 1000mm IN HEIGHT.
- DRIVEWAY CONSTRUCTION TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS.
- SITE LEVELS ARE INDICATIVE ONLY AND SUBJECT TO CHANGE - BUILDER TO DETERMINE FINAL LEVELS UPON SITE INSPECTION

**LEGEND**

- ☒ FIELD GULLY
- ← PROPOSED ROOF WATER DRAINAGE
- MB RECESSED ELECTRICAL METER BOX
- ⊙ HWS HOT WATER SERVICE
- ⊞ A/C AIR CONDITIONING UNIT
- ▽ HOSE COCKS
- WM WATER METER



CONNECT ROOFWATER DRAINAGE TO EXISTING KERB/CHANNEL. MAKE GOOD ANY DAMAGE

MINIMUM CUT/FILL REQUIRED - SITE TO BE SCRAPED

CONSTRUCT DRIVEWAY IN ACCORDANCE WITH LOCAL COUNCIL STANDARD DRAWINGS

**SITE PLAN**  
1:200

LOT 2  
375m<sup>2</sup>  
S.P. 347821  
TOTAL SITE COVERAGE 52.25%  
LOCAL COUNCIL: MBRC

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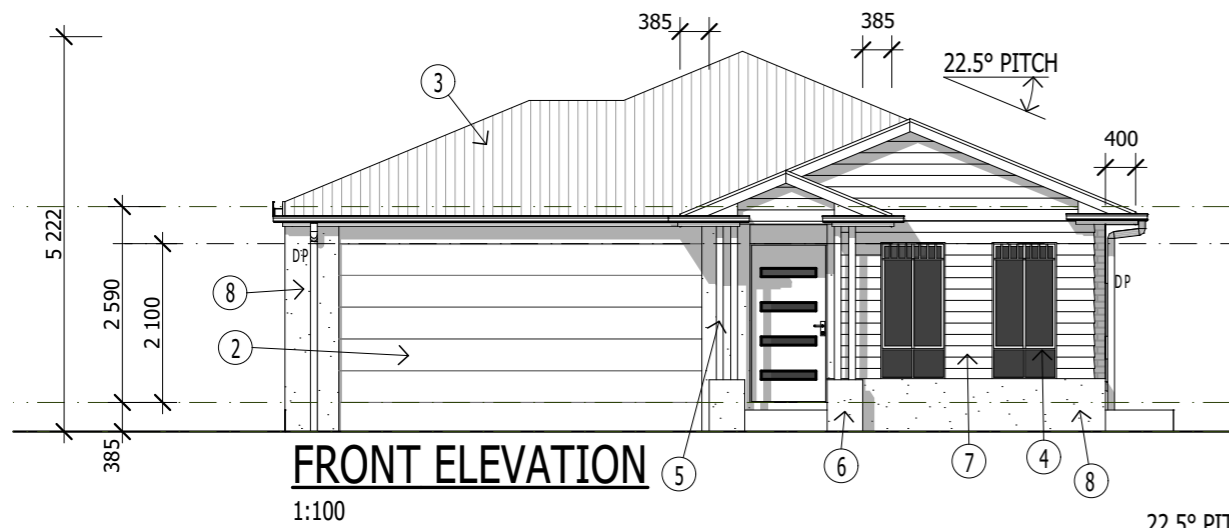
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CBCC: 15079009  
401 SCARBOROUGH ROAD SCARBOROUGH 4020  
041146669

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**GABLE ROOF FACADE C**  
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**V NCC 23**  
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**R1 15-8-24**  
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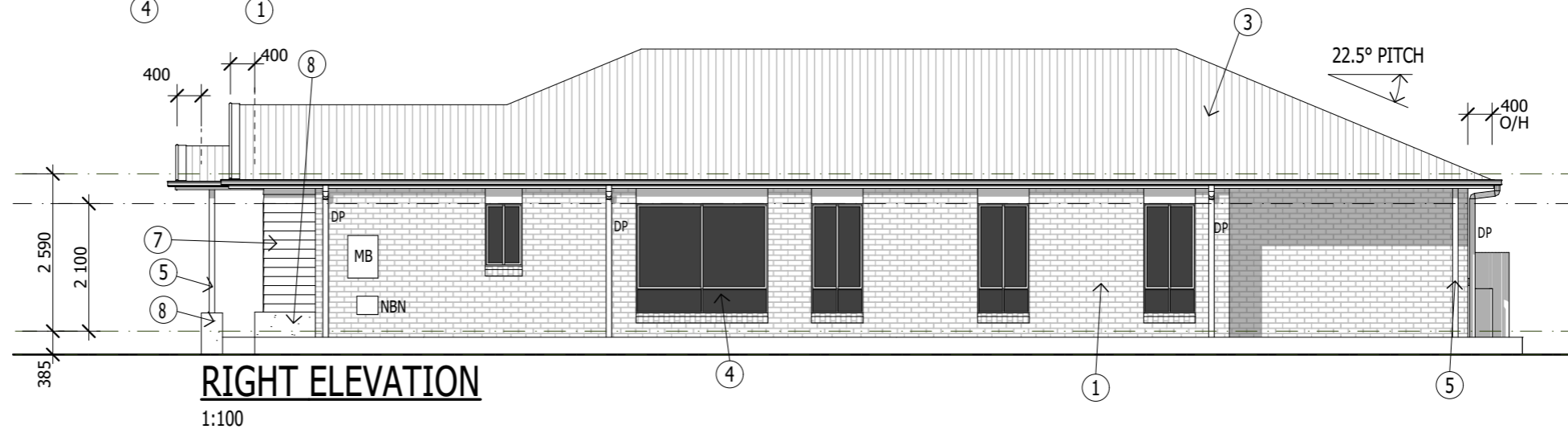
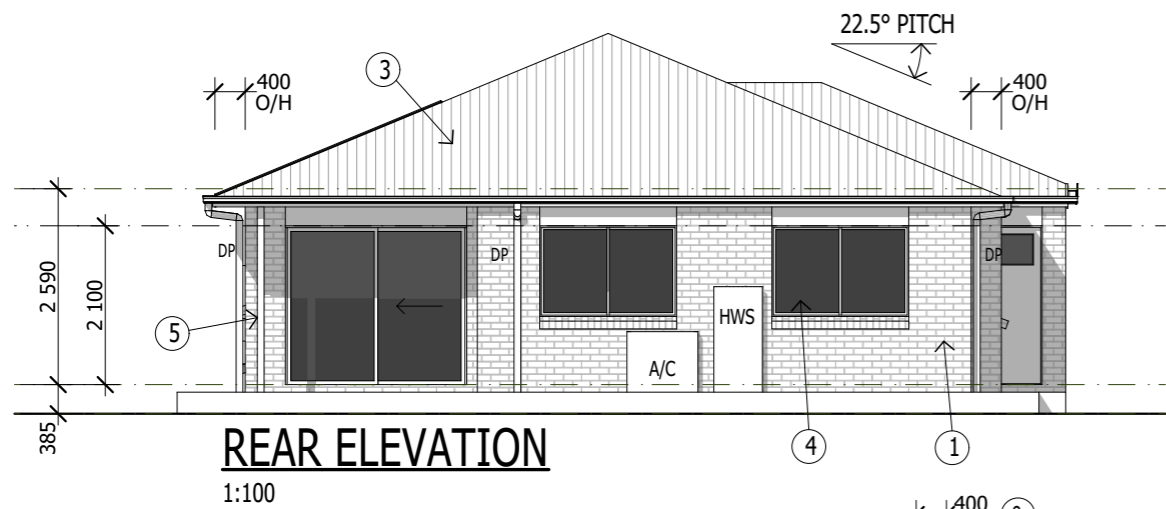
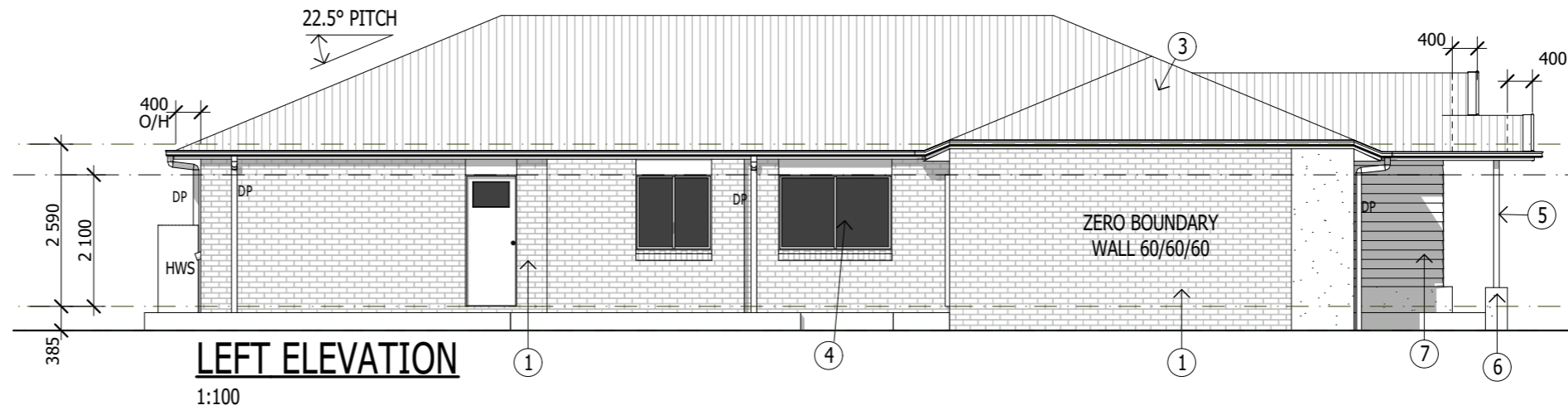
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**SITE PLAN**  
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Status: CONSTRUCTION Drawn By: NRG  
Project No: Drawing No:  
---- **2 OF 9**  
Plot Date: 15/08/2024

CONSTRUCTION





- ① FACE BRICK
- ② PANEL LIFT GARAGE DOOR
- ③ C/BOND SHEET ROOFING
- ④ P/COATED JOINERY
- ⑤ 90x90 STEEL POST
- ⑥ 470x350 BRICK PIER (RENDERED)
- ⑦ PRIMELINE BOARD CLADDING
- ⑧ RENDERED FINISH BRICKWORK



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 QBCC: 15079609  
 401 SCARBOROUGH ROAD SCARBOROUGH 4020  
 041146669

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Drawing Title:  
**ELEVATIONS**

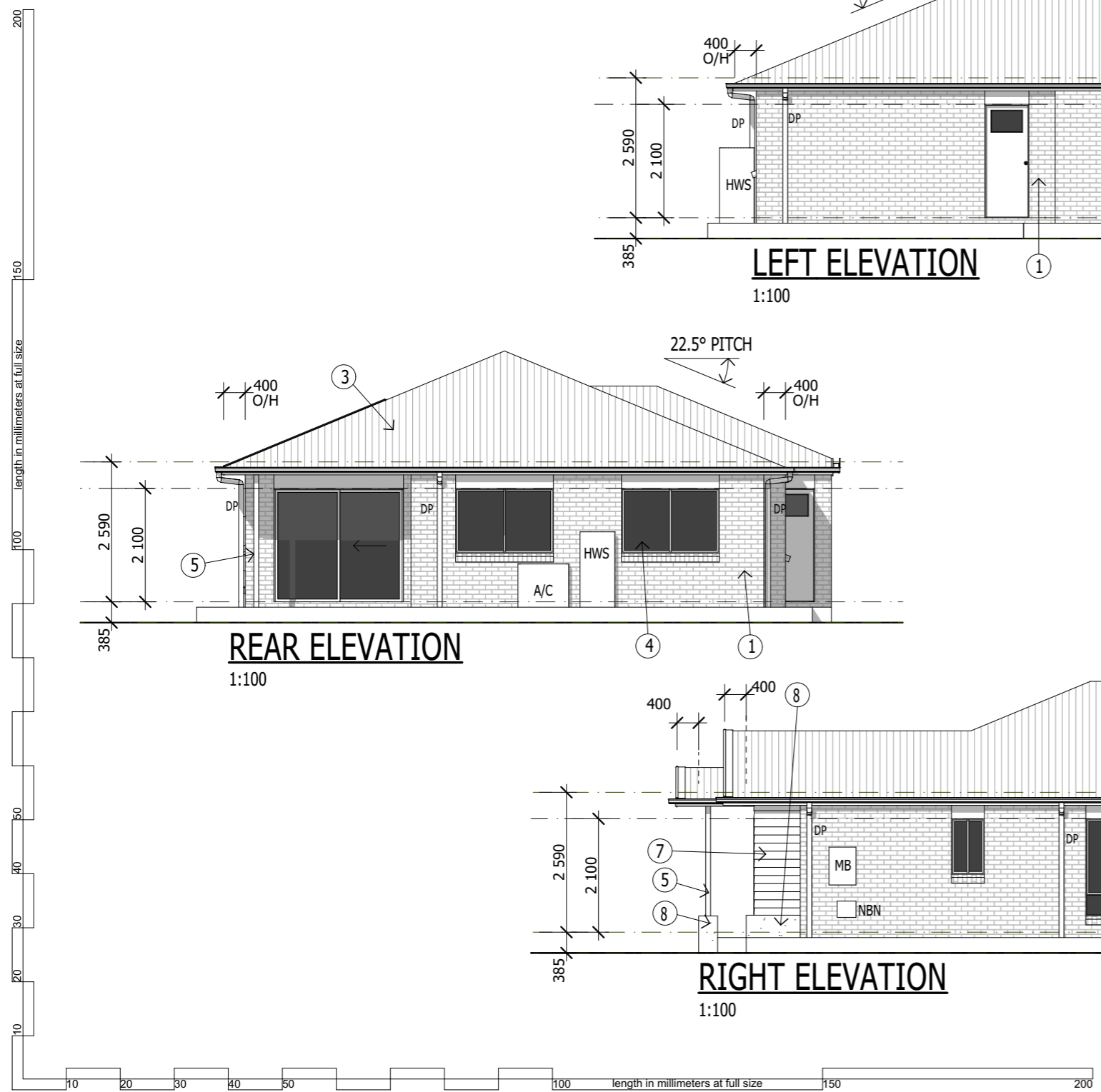
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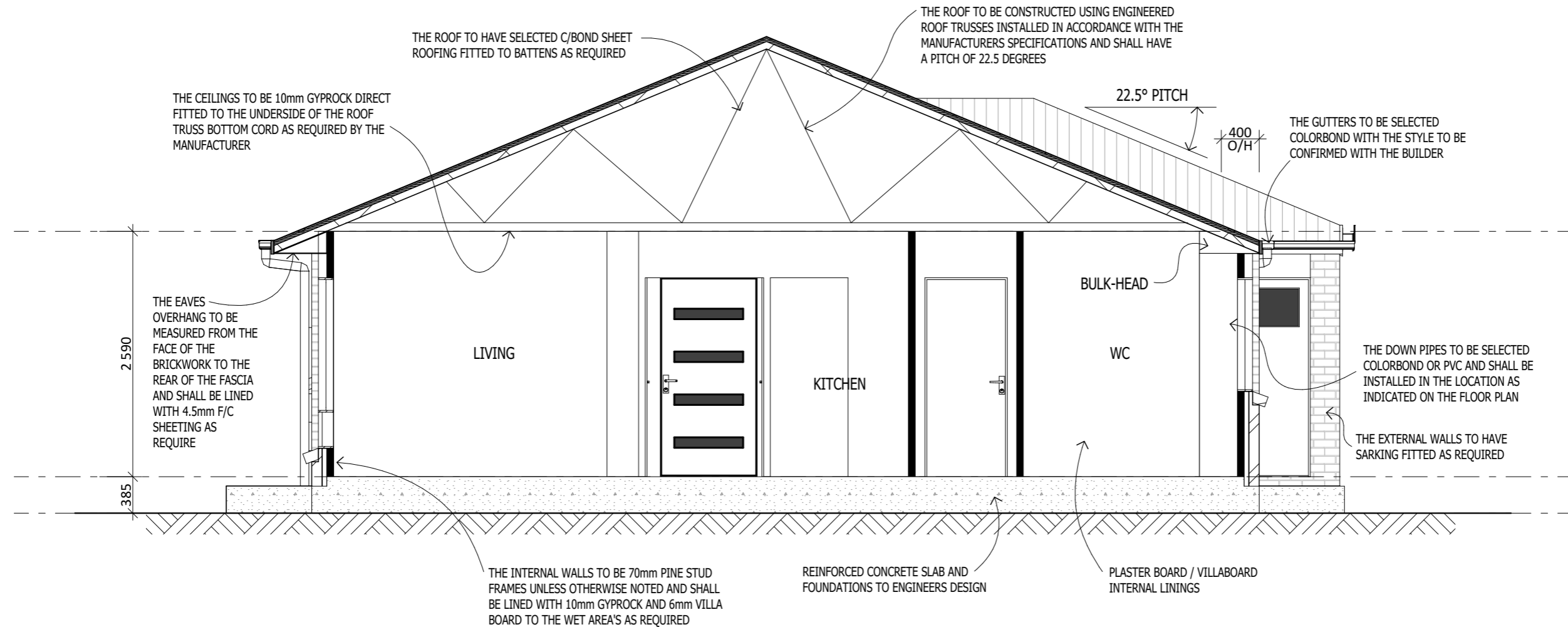
Project No: - - - - Drawing No.: **4 OF 9**

Plot Date: 15/08/2024

**CONSTRUCTION**



length in millimeters at full size



**A-A SECTION**  
3 1:50

**TIE DOWN SCHEDULE: N.2. AS.1684.2-2010: JD.4. GROUP**

CONNECTION POINT	FIXING METHOD
BOTTOM PLATE TO SLAB	FULL HEIGHT M.12. ROD: 1200mm C. (COLORBOND SHEET ROOF ONLY) USE NOMINAL TIE DOWNS FOR CONCRETE ROOF TILES. (W/ INTERMEDIATE MASONRY NAIL: 1200 C. MAX)
STUD TO BOTTOM PLATE	AS PER ABOVE
TOP PLATE TO STUD	AS PER ABOVE
TRUSS TO TOP PLATE	1/30x0.8mm G.I. LOOPED STRAP TO EACH CROSSING/ OR SIMILAR
BATTEN TO TRUSS	2/12. G. x40mm TYPE 17 SCREWS AT EACH CROSS./ OR SIMILAR
TILE TO BATTEN	ACCORDING TO MANUF. SPECIFICATION
350 SQ. CORE-FILLED BRICK PIER	50x50 SHS STEEL POST FIXED TO ROOF BEAM AND SLAB FOOTING

**CONSTRUCTION DETAILS:**  
ACCEPTED BUILDING PRACTICES: AS 1684.2-2010 NATIONAL CONSTRUCTION CODE (NCC) 2019  
**ENGINEERS DETAILS:**  
ENGINEERS FOUNDATION & DESIGN PLAN  
SOIL REPORT. ENGINEERS FILL SPECIFICATION  
TRUSS DESIGN SPECIFICATION DATA  
ENGINEERS STRUCTURAL CERTIFICATION

**GENERAL NOTES:**  
TIMBER NOTES: ALL EXTERNAL AND EXPOSED TIMBER TO BE MINIMUM DURABILITY CLASS 2. AND BE ADEQUATELY TREATED TO THE RELEVANT HAZARD LEVEL.  
PROTECTED AGAINST CORROSION  
DESIGN CRITERIA: RLW 6.4m  
U.N.O. DENOTES UNLESS NOTED OTHERWISE

**GROUND SLAB:**  
REINF. CONCRETE GROUND SLAB POURED ON 200µm POLYTHENE MEMBRANE ON APPROVED REFER ENGINEERS SPECIFICATION

**TERMITE CONTROL:**  
METHOD OF CONTROL TO BE INSTALLED AND MAINTAINED IN ACCORD. WITH MANUF. SPECIFICATION AND AS.3660.1 SLAB FILL.

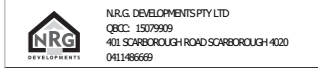
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Drawing Title:  
**SECTION**

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Project No: - - - - Drawing No.: **5 OF 9**

Plot Date: 15/08/2024

**CONSTRUCTION**

**CHECK SPEC FOR VANITY TYPE PRIOR TO COMMENCING WORKS**

**SLAB TO ENGINEERS DESIGN & DETAILS**

**LEGEND**

- W.C. WATER CLOSET 100mmØ U.P.V.C.
- V VANITY BASIN 40mmØ U.P.V.C.
- SINK KITCHEN SINK 100mmØ U.P.V.C.
- LDY LAUNDRY TUB 100mmØ U.P.V.C.
- FWG FLOOR WASTE GULLY 100mmØ U.P.V.C.
- SHW SHOWER 100mmØ U.P.V.C.
- BATH BATH TUB 100mmØ U.P.V.C.

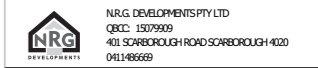
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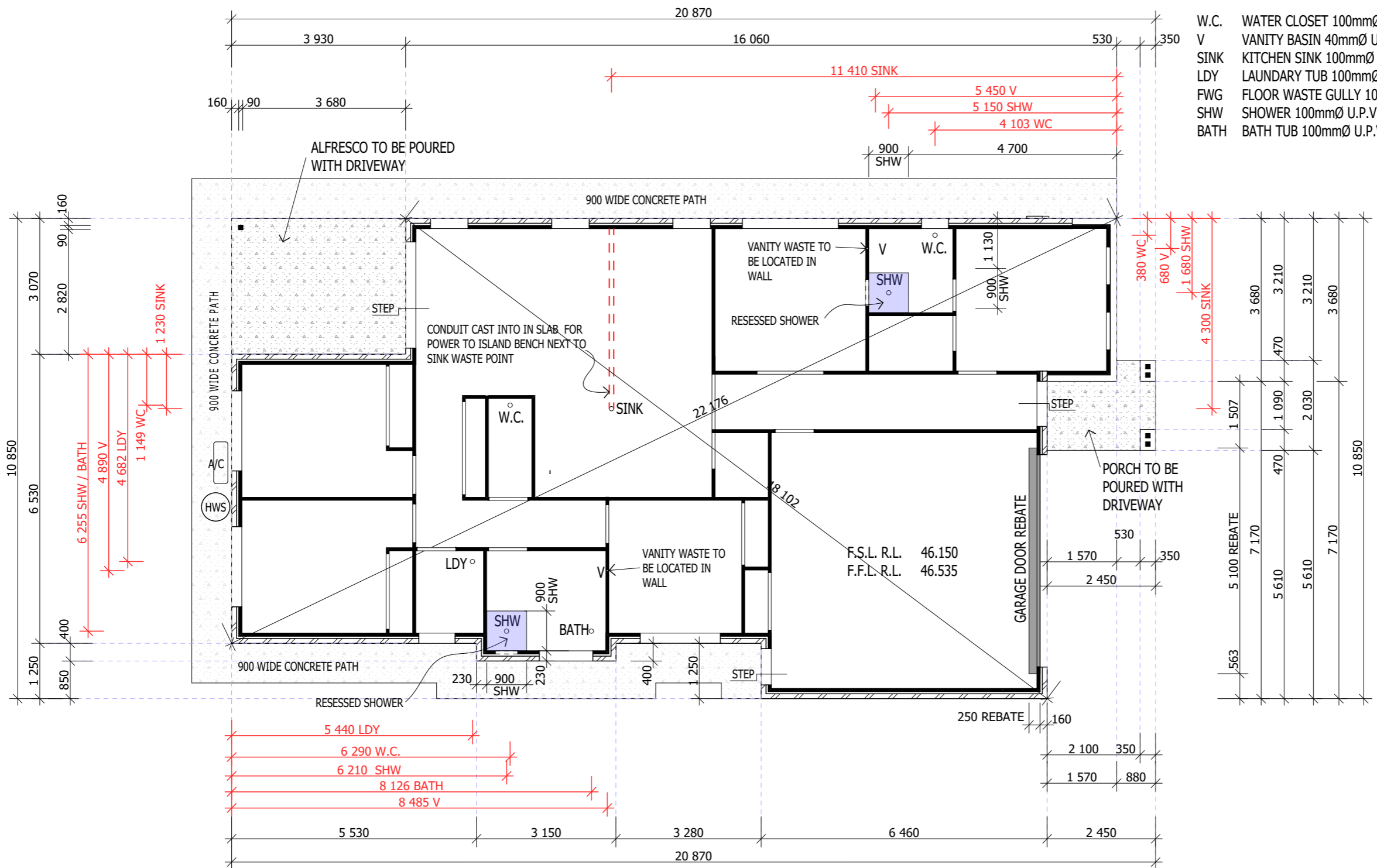
Drawing Title:  
**SLAB PLAN**

Scale: as noted Date: 15/08/2024  
 Status: CONSTRUCTION Drawn By: NRG

Project No: \_\_\_\_\_ Drawing No.:  
**6 OF 9**

Plot Date: 15/08/2024

length in millimeters at full size



**SLAB PLAN**

1:100

**CONSTRUCTION**

**BRACING CALCULATIONS**

	AREA OF ELEVATION	AS 1684.2 TABLE 8.2 (N2) & 8.4 kPa	TOTAL RACKING REQUIRED
DIRECTION A	53.67m <sup>2</sup>	0.72	38.642kN
DIRECTION B	24.45m <sup>2</sup>	0.77	18.826kN

**RESISTANCE PROVIDED**

	BRACE TYPE	STRENGTH kN/m	LENGTH m	TOTAL RACKING PROVIDED
DIRECTION A	PLY	6.0kN/m	8.1m	48.60kN
DIRECTION B	PLY	6.0kN/m	5.4m	32.40kN

**BRACING LEGEND:**

TYPE C - GALVANISED STEEL ANGLE BRACE IN ACCORDANCE WITH A.S. 1684.2-1999 MANUAL, TABLE 8.18,FIGURE (c) = 1.5kN/M

TYPE H - STRUCTURAL PLY SHEET BRACING IN ACCORDANCE WITH A.S. 1684.2-1999 MANUAL, TABLE 8.18,FIGURE (h) = 6.0 kN/M

\* PLY BRACING PANELS LESS THAN 900mm LONG TO A MINIMU WIDTH OF 600mm, TO HAVE 1/M12 ROD AT EACH END IN ACCORDANCE WITH A.S. 1684.2-1999 CLAUSE 8.3.6.5

PLYWOOD STRESS GRADE	STUDS AT 450CRS
F8	7mm THICK PLYWOOD
F11	6mm THICK PLYWOOD
F14	4mm THICK PLYWOOD
F27	4mm THICK PLYWOOD

PLYWOOD NAILING TYPES & STRENGTHS REFER TO PAA "STRUCTURAL PLYWOOD WALL BRACING" LIMIT STATE DESIGN MANUAL, TABLE 1: MINIMUM FASTENER SPECIFICATION.

BRICK PIERS IN ACCORDANCE WITH "BRICK DEVELOPMENT RESEARCH INSTITUTE" CLAY BRICK CONSTRUCTION DETAILS. VOLUME No 1, TABLE 12 = 1.5kN/M IN EACH DIRECTION

M4(B) BRACEBOARD SHEET IN ACCORDANCE WITH AUSTRALIAN HARDBOARDS M4 PRODUCT MANUAL TYPE B = 6.0kN/M

M4(C) BRACEBOARD SHEET IN ACCORDANCE WITH AUSTRALIAN HARDBOARDS M4 PRODUCT MANUAL TYPE C = 9.0kN/M

\* BRACING PANELS LESS THAN 900mm LONG TO A MINIMUM WIDTH OF 460mm, TO HAVE 1/M12 ROD AT EACH END IN ACCORDANCE WITH AUSTRALIAN HARDBOARDS M4 PRODUCT MANUAL

TYPE E = 6.0kN/M

JHFC JAMES HARDIE FIBRE CEMENT IN ACCORDANCE WITH JAMES HARDIE BRACING FIXING MANUAL TABLE 4 = 5.3kN/M

0.9mPLY 4mm PLYWOOD F14 FIXED IN ACCORDANCE WITH A.S. 1684.2 -TABLE 8.18 (H) METHOD B

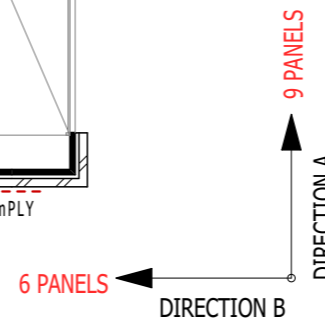
0.9mPLY PANELS ON INTERNAL WALL OR PANELS LESS THAN 900mm TO TABLE 8.18(g). METHOD A (3.4kN/m) MIN. 6mm THICK PLY

TB2 - 2.7m METAL STRAPS-TENSIONED-WITH STUD STRAPS TO TABLE 8.18(d) 3.0kN/m

S.C.B. STEEL CROSS BRACING



**BRACING PLAN**  
1:100

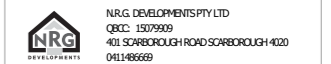


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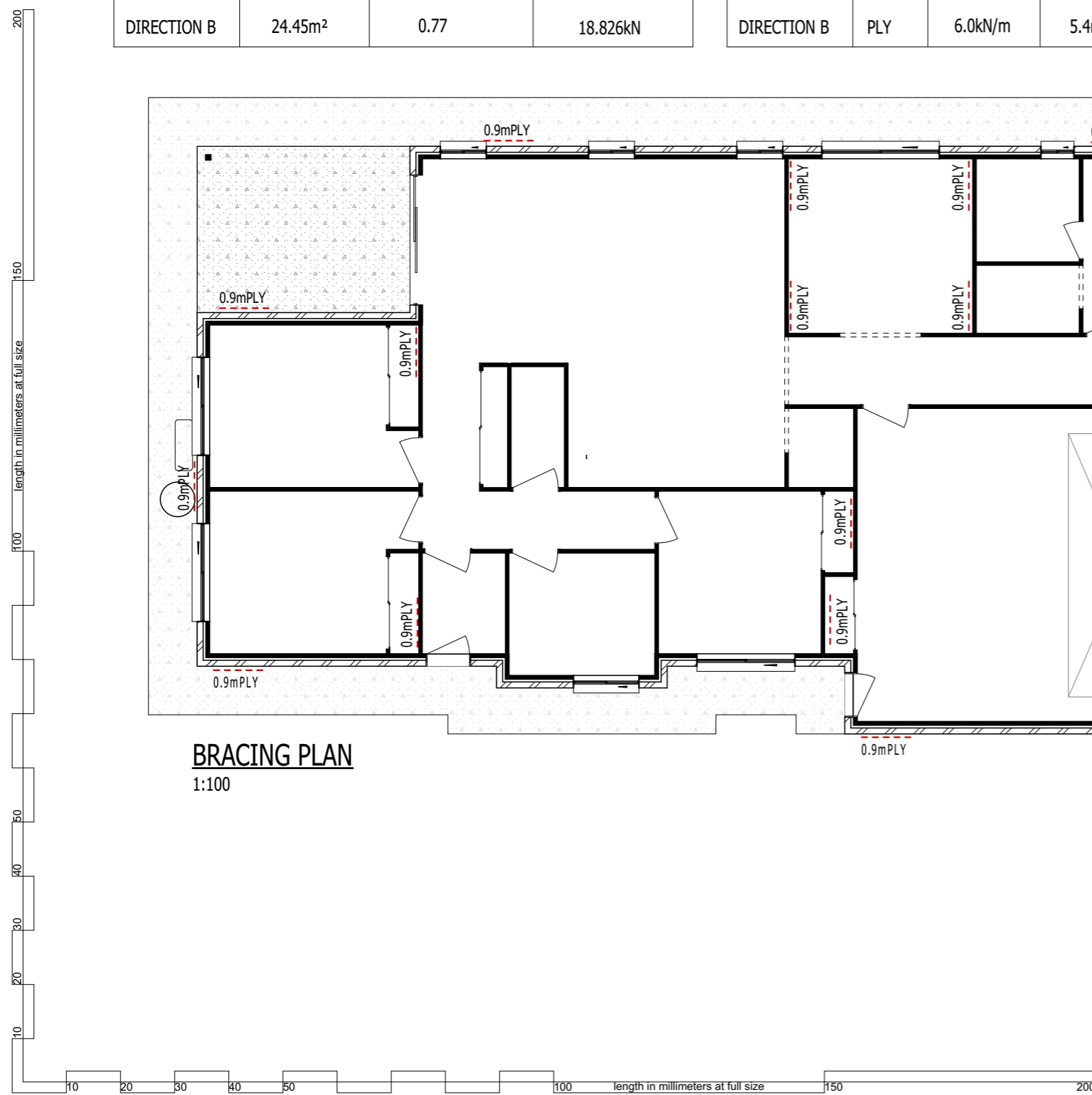
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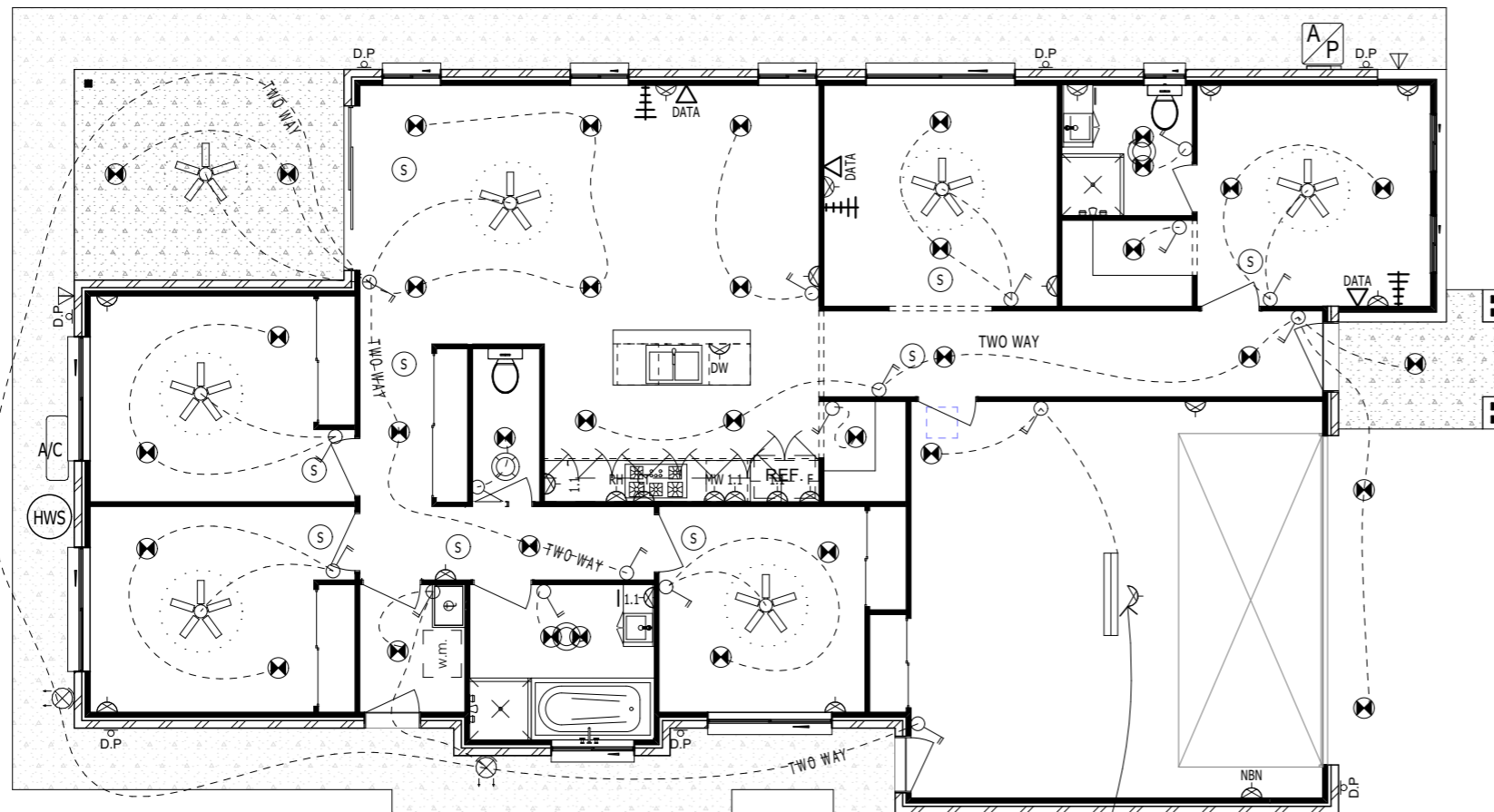
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Plot Date: 15/08/2024

**CONSTRUCTION**

























# PEAK SMART DUCTED AIR CONDITIONING THROUGHOUT WITH MYAIR



## ELECTRICAL PLAN

1:100

### LEGEND

-  CEILING FAN WITH LIGHT
-  CEILING FAN
-  CEILING LIGHT
-  ROUND FLURO
-  PENDENT LIGHT
-  WALL LIGHT
-  1200mm FLURO TUB
-  SPOT LIGHT
-  IXL TASTIC EXHAUST FAN
-  EXHAUST FAN
-  LIGHT SWITCH
-  POWER OUTLET
-  METER BOARD ACCESS PANEL  
DISTRIBUTION BOARD INTERNAL
-  TELECOMMUNICATION OUTLET
-  TELEVISION OUTLET
-  TV SETUP - DGPO/HDMI/BLANK @ 1500 AFL  
2xDGPO/HDMI/BLANK/DATA@350 AFL
-  SMOKE DETECTORS
-  AIR CONDITIONING EXTERNAL
-  AIR CONDITIONING INTERNAL
-  HOT WATER HEATER
-  RECESSED WALL LIGHT ABOVE STAIR  
TREAD
-  STRIP LIGHT
-  CEILING MOUNTED SPEAKER

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OWNER:  
OWNER:  
BUILDER:  
DATE: \_\_\_ / \_\_\_ / 2024  
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

NOTES:  
R

**BE AWARE:**  
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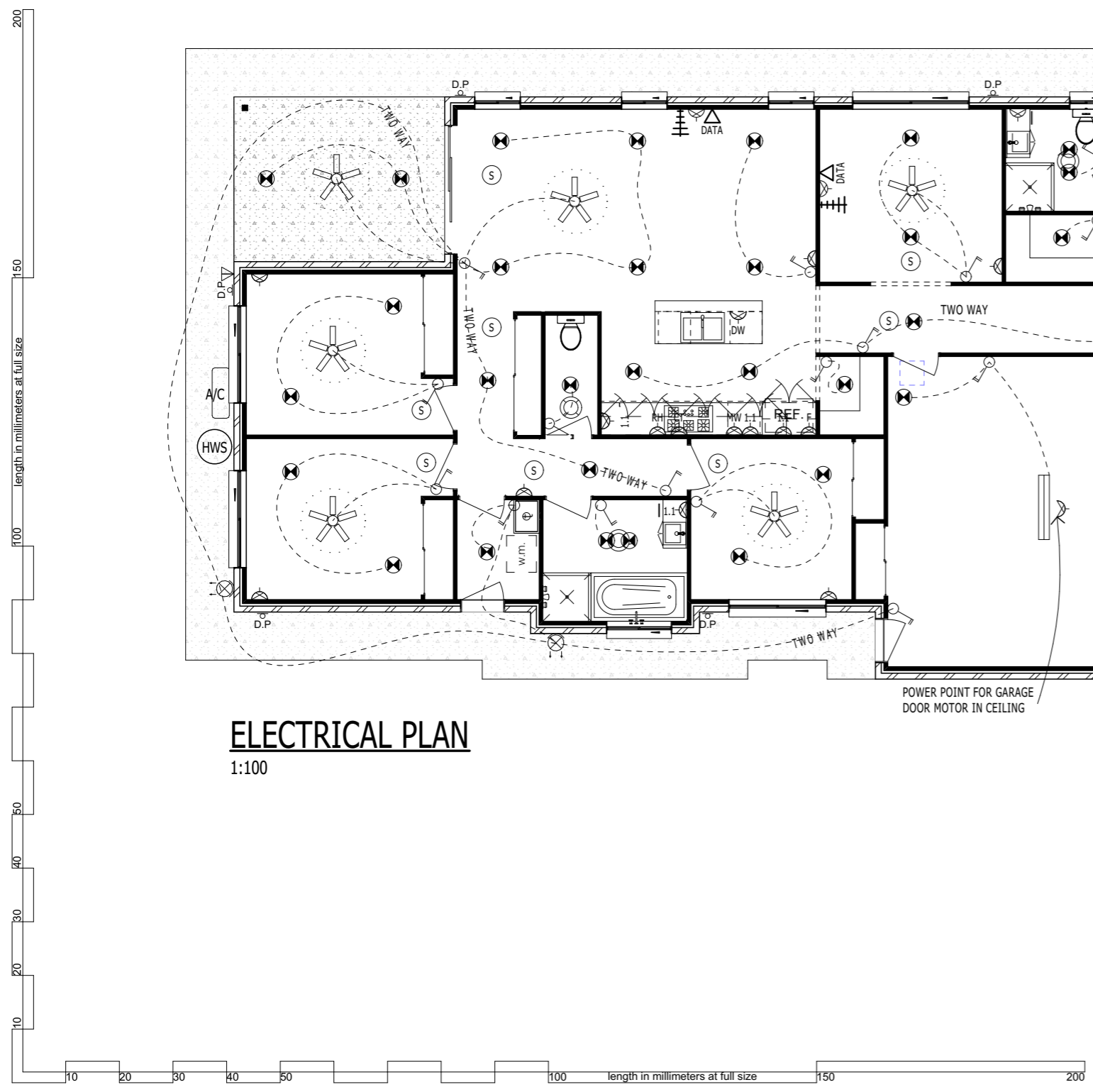
NRG DEVELOPMENTS PTY LTD  
CRCC: 15079909  
401 SCARBOROUGH ROAD SCARBOROUGH 4020  
041146669

Client  
Project Name  
**THE THOMPSON 198 LHS**  
Facade  
**GABLE ROOF FACADE C**  
Version  
**V NCC 23**  
Revision  
**R1 15-8-24**  
Lot Designation  
**LOT 2 HERALD STREET**  
**LOT 2 HERALD STREET KALLANGUR**

Drawing Title:  
**ELECTRICAL PLAN**

Scale: as noted	Date: 15/08/2024
Status: CONSTRUCTION	Drawn By: NRG
Project No: - - - -	Drawing No: <b>8 OF 9</b>
Plot Date: 15/08/2024	

CONSTRUCTION



**GENERAL NOTES:**

- ALL TIMBER FRAMED WALLS TO WET AREA'S TO BE LINED WITH F.C SHEET
- FLOORS TO ALL WET AREA'S TO HAVE FALL TO A FLOOR WASTE
- ALL HANDRAILS TO BE 1000mm MIN. ABOVE FINISHED FLOOR (CARPET / TILES ETC.) AND WITH 125mm MAX SPACING BETWEEN BALUSTRADING
- W.C'S TO HAVE A MIN. 900mm CLEAR WIDTH
- DOORS TO W.C'S TO HAVE LIFT OF HINGES FITTED
- FIRST FLOOR TIMBER FLOORS TO HAVE AN APPROVED "WET AREA" FLOORING FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS
- ALL LAMINATED BEAMS TO HAVE FULL WIDTH BEARING AT EACH END
- MASONRY CONSTRUCTION TO AS:3700
- TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS:3660 AND SHALL BE A PROPRIETARY SYSTEM LIKE "TRITHOR" OR SIMILAR
- ALLUMINIUM SLIDING WINDOWS TO BE INSTALLED IN ACCORDANCE WITH AS:1288
- INSULATION TO THE EXTERNAL WALLS AND CEILINGS TO BE AS NOTED ON THE PLANS
- WRITTEN DIMENSIONS TO HAVE PREFERENCE OVER SCALED DIMENSIONS

**SITE NOTES:**

- PLATFORM IMMEDIATELY SURROUNDING THE RESIDENCE TO FALL AWAY FROM THE RESIDENCE AT A SLOPE OF 1 IN 50 MINIMUM TO A EARTH DRAIN AS INDICATED ON THE SITE PLAN
- THE SURFACE DRAIN TO DISCHARGE EVENLY WITHIN THE SITE AND WITHOUT NUISANCE TO ADJOINING PROPERTIES
- CUT AND FILL BATTERS NOT TO EXCEED A MAXIMUM SLOPE OF 1 VERTICAL TO 1 HORIZONTAL
- 1000mm MAXIMUM HIGH TIMBER RETAINING WALL WITH 65 DIA AG PIPE (TO DISCHARGE TO STORMWATER LINE) AND GRANULAR BACKFILL BEHIND AND TO BE WHOLLY CONTAINED WITHIN THE SITE, ONLY IF INDICATED ON THE SITE PLAN
- HEIGHT OF FENCE INCLUDING THE HEIGHT OF THE RETAINING WALLS ARE NOT TO EXCEED 2.0mtrs ABOVE NATURAL GROUND LEVEL, ONLY IF INDICATED ON THE SITE PLAN
- DRIVEWAY SLOPE NOT TO EXCEED 1 VERTICAL TO 4 HORIZONTAL SEE SITE PLAN FOR SECTIONAL VIEW OF DRIVEWAY ON SLOPING SITES
- DRVEWAY AND FOOTPATH CROSS OVER BY OWNER

**ROOFWATER / DRAINAGE NOTES:**

RAINFALL INTENSITY OF 250mm / hr WITH ARI OF 20 YEARS (BRISBANE)  
 AS PER PART 3.5.2 OF THE B.C.A., THE ROOF AREA PER DOWNPIPE IS CALCULATED USING THE STRAMIT QLD. QUAD EAVES GUTTER WITH AN EFFECTIVE CROSS-SECTIONAL AREA OF 8100sq.mm. ACHIEVING A MAXIMUM ACTUAL ROOF AREA PER DOWNPIPE OF 50sqm. WHICH GIVES A MAX. PLAN AREA OF 49.8sqm @ 5d, 49.2sqm @ 10d, 48.3sqm @ 15d, 47.0sqm @ 20d, 45.3sqm @ 25d & USING 100 X 75mm DOWNPIPES.  
 AS PER PART 3.1.2 OF THE B.C.A. IN ACCORDANCE WITH AS / NZ 3500.3.2, UPVC STORMWATER PIPELINES HAVING A SMOOTH (NON-PROFILED) INTERNAL BORE WITH A FALL OF 1:100 MIN. & A NOMINAL DIAMETER OF 100mm ACHIEVES A HYDRAULIC CAPACITY OF 8L/s, GIVING A MAX. ACTUAL ROOF AREA OF 114.7sqm OR A MAX. PLAN AREA OF 110.2sqm @ 5d, 105.2sqm @ 10d, 101.0sqm @ 15d, 97.2sqm @ 20d, 93.2sqm @ 25d PER STORMWATER PIPE.

**BRANDING OF STRUCTURAL PLYWOOD**

EACH SHEET OF STRUCTURAL GRADE PLYWOOD SHALL HAVE THE FOLLOWING INFORMATION LEGIBLY AFFIXED THERON BY THE MANUFACTURER AT THE POINT OF MANUFACTURE AT LEAST ONCE:  
 (A) THE MANUFACTURERS NAME OR REGISTERED MARK.  
 (B) THE WORD 'STRUCTURAL' OR PRODUCT DESCRIPTION.  
 (C) REFERENCE TO THE STANDARD, ie., AS/NZ 2269.  
 (D) THE GRADE OF OUTER PLIES (FACE FIRST, BACK LAST), eg., CC, CD OR DD. WHERE NON-STANDARD VENEER GRADES ARE USED AS PERMITTED IN CLAUSE 3.4.1(c), BRANDING SHALL INCLUDE A DESCRIPTOR THAT NON-STANDARD VENEER QUALITY HAS BEEN USED IN THE PLYWOOD ASSEMBLY. THIS REQUIREMENT MAY BE MET BY REFERENCE TO A PRODUCT NAME OR DESCRIPTION THAT REFERENCES THE NON-STANDARD VENEER QUALITY IN THAT PRODUCTS SPECIFIC MANUFACTURING SPECIFICATION.  
 (E) THE BOND TYPE OF THE GLUE LINE, i.e., A BOND  
 (F) AN INDICATION OF THE STRESS GRADE OF THE SHEET, e.g., F7  
 (G) THE PANEL CONSTRUCTION CODE e.g., 17-24-7  
 (H) IF IMMUNIZED OR PRESERVATIVE-TREATED, BRANDING IN ACCORDANCE WITH AS/NZ 1604.3.

**GIRDER TRUSS NOTE:**

ALL GIRDER TRUSSES TO BE SUPPORTED BY 3 MGP10 STUDS OF A SIZE COMMON TO THE WALL OR 2MGP10 OF A SIZE COMMON TO THE WALL AT EACH SIDE OF AN OPENING IN ADDITION TO THE JAMB STUDS WHEN THE GIRDER TRUSS IS LOCATED OVER AN OPENING WHICH DOES NOT EXCEED 2460mm IN WIDTH UNLESS NOTED OTHERWISE ON THESE DRAWINGS.  
 IF IN THE EVENT THAT THE GIRDER TRUSS LOCATIONS ARE ALTERED, THE BUILDER & OR THE TRUSS MANUFACTURER ARE TO INFORM THIS OFFICE SO THAT AMENDED DRAWINGS CAN BE ISSUED.

**REFERENCE CODES:**

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE BUILDING ACT 1975 AND ALL CODES REFERRED THEREIN.

**PRELIMINARIES:**

ALL CONSTRUCTION METHODS, MATERIALS & WORKMANSHIP MUST COMPLY WITH THE BUILDING ACT AND SUBSEQUENT AMENDMENTS AND ALL AUST. STD'S REFERRED THEREIN. IT IS THE BUILDERS RESPONSIBILITY TO VERIFY THE CONTENTS OF THIS DOCUMENT BEFORE CONSTRUCTION IS COMMENCED. WRITTEN MEASUREMENTS ARE TO THE FACE OF TIMBER FRAMING OR THE BRICKWORK AND ARE TO TAKE PRECEDENCE OVER SCALED MEASUREMENTS. ALL LEVELS ARE TO BE VERIFIED ON SITE.

**CONCRETOR:**

ALL CONCRETE SHALL COMPLY WITH AS:3600. FOOTINGS AND SLABS SHALL COMPLY WITH AS:2870 - 2011 WHERE LOCAL AUTHORITIES REQUIRE SOIL TESTS AND ENGINEERED FOOTING AND SLAB DETAILS, THESE ENGINEER DETAILS TAKE PREFERENCE OVER DRAWN DETAILS WITHIN THIS DOCUMENT.

**CARPENTER:**

ALL TIMBER SIZES ARE THE MINIMUM REQUIRED UNDER THE CODES, WALLS ARE 2440mm UNLESS OTHERWISE NOTED. WC DOORS ARE TO BE SWUNG TO OPEN OUT OR BE FITTED WITH LIFT OF HINGES. TIMBER SIZES TO BE AS PER THE TIMBER SIZES TABLE OF THE BRACING PLAN AND THE TIE DOWN DETAILS TO BE AS PER THE TABLE ON THE BRACING PLAN. ROOF TRUSSES TO BE AS PER ENGINEERED DESIGN BY AUTHORIZED MANUFACTURERS AND SHALL BE FIXED IN ACCORDANCE WITH THEIR DETAILS.  
 TRUSSES TO BE BRACED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

**OTHER TRADES:**

UNLESS OTHERWISE SPECIFIED:  
 THE WALLS SHALL BE SHEETED WITH 10mm GYPROCK AND 6mm VILLA BOARD TO THE WET AREA'S. CEILINGS TO BE SHEETED AS REQUIRED BY THE MANUFACTURER AND THE ROOF TRUSS CENTRES SEE THE MANUFACTURERS DETAILS.  
 CEILING GYPROCK TO BE FIXED DIRECTLY TO THE UNDERSIDE OF THE ROOF TRUSS BOTTOM CORD AS REQUIRED BY THE MANUFACTURER. ROOF SHEETING TO BE FIXED AS REQUIRED BY THE MANUFACTURER TO METAL BATTENS. ROOF TILES TO BE FIXED AS REQUIRED BY THE MANUFACTURERS IN RELATION TO THE SPECIFIED WIND RATING. BRICKWORK SHALL BE STRAIGHT, PLUMB AND LEVEL (WITHIN THE CODE FOR BRICKWORK) AND HAVE VENEER TIES AT MAX. 600mm CENTRES BOTH HORIZONTALLY AND VERTICALLY.

**REQUIREMENTS FOR SUSTAINABLE BUILDINGS:**

FOR NEW CLASS 1 BUILDING AND SOLE-OCCUPANCY UNIT OF A NEW CLASS 2 BUILDING, AND RENOVATED BATHROOMS IN AN EXISTING CLASS 1 AND A SOLE-OCCUPANCY UNIT OF AN EXISTING CLASS 2 BUILDING.

**ACCEPTABLE SOLUTIONS:**

SHOWER ROSES:  
 SHOWER ROSES TO BE AAA RATING WHEN ASSESSED AGAINST AS/NZ 6400:2004 OR A 3 STAR RATING UNDER THE WATER EFFICIENCY LABELLING SCHEME (WELS)

**WATER SUPPLY:**

IN A SERVICE AREA FOR RETAIL WATER SERVICE UNDER THE WATER ACT 2000, THE WATER SUPPLIED TO A NEW CLASS 1 BUILDING DOES NOT EXCEED PRESSURE LEVELS SET OUT IN AS/NZ 3550.1:2003 AND IF THE MAIN WATER PRESSURE EXCEEDS OR COULD EXCEED 500Kpa, A WATER PRESSURE LIMITING DEVICE IS INSTALLED TO ENSURE THAT THE MAXIMUM OPERATING PRESSURE AT THE OUTLOET WITHIN THE BOUNDARIES OF THE PROPERTY DOES NOT EXCEED 500Kpa.

**VOLUME OF WATER USED IN A TOILET:**

IN A NEW CLASS 1 BUILDING AND A SOLE-OCCUPANCY UNIT OF A NEW CLASS 2 BUILDING, AND IN AN EXISTING CLASS 1 BUILDING OR SOLE-OCCUPANCY UNIT OF AN EXISTING CLASS 2 BUILDING WHERE THE TOILETS ARE REPLACED, TOILET CISTERNS TO HAVE DUAL FLUSH CAPABILITY THAT DOES NOT EXCEED 6 LITRES ON FULL FLUSH AND 3 LITRES ON HALF FLUSH.

**ENERGY EFFICIENT LIGHTING:**

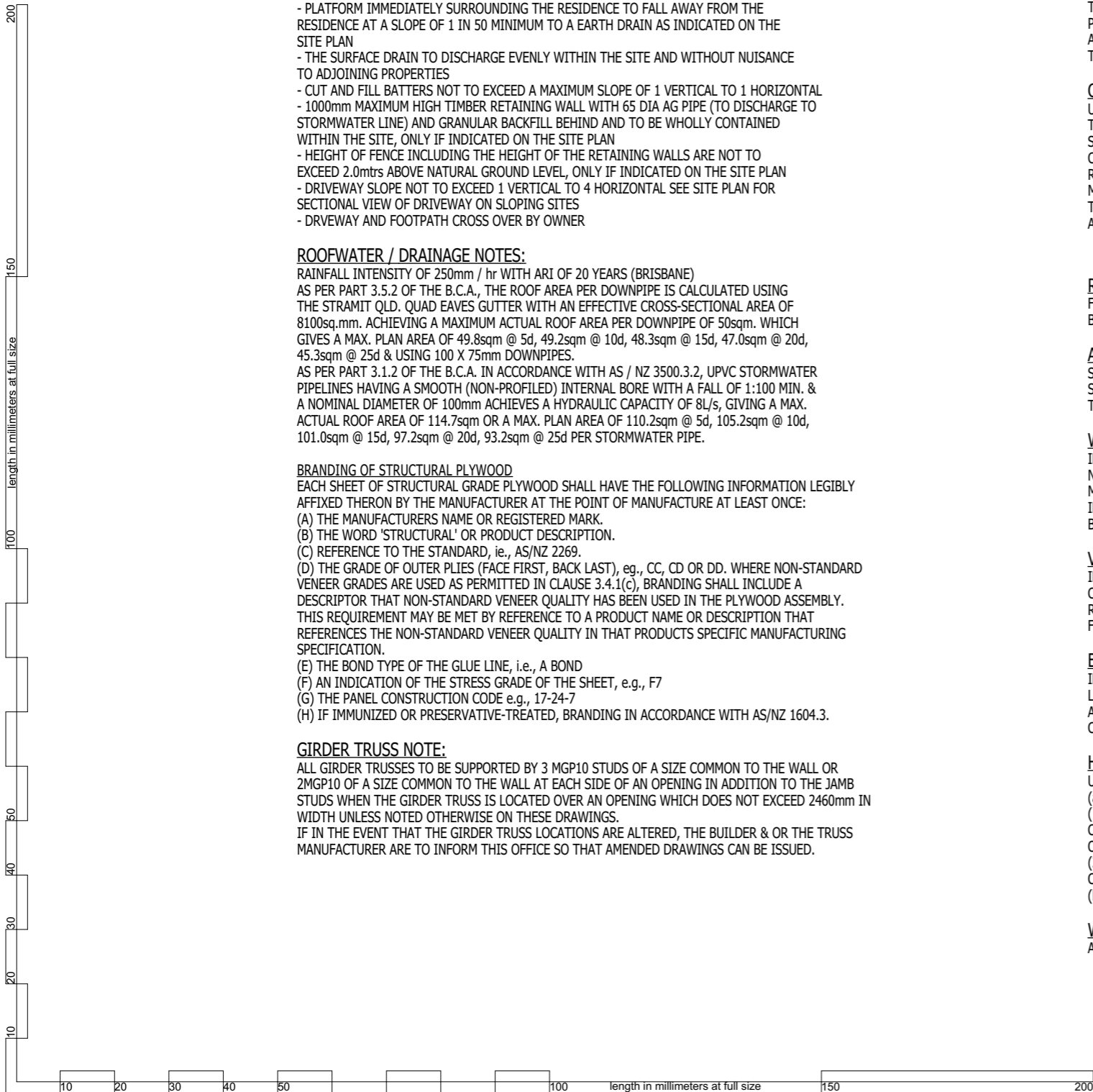
IN A NEW CLASS 1 BUILDING AND A SOLE-OCCUPANCY UNIT OF A NEW CLASS 2 BUILDING, FLUORESCENT LIGHTS OR COMPACT FLUORESCENT (CFLs) ARE USED IN 80% OF THE TOTAL AREA OF ALL ROOMS. THE TOTAL AREA IS TO INCLUDE THE FLOOR AREA OF THE GARAGE, WHERE THE GARAGE IS ASSOCIATED WITH THE CLASS 1 BUILDING OR SOLE - OCCUPANCY UNIT.

**HOT WATER SUPPLY:**

UN A NEW CLASS 1 BUILDING, A HOT WATER SUPPLY IS PROVIDED BY:  
 (a) A HEAT PUMP OR A SOLAR HOT WATER SYSTEM THAT IS ELIGIBLE TO RECIEVE:  
 (1) IN A BUILDING WITH 3 OR MORE BEDROOMS, AT LEAST 22 RENEWABLE ENERGY CERTIFICATES  
 OR  
 (2) IN A BUILDING WITH 1 OR 2 BEDROOMS, AT LEAST 14 RENEWABLE ENERGY CERTIFICATES  
 (b) A GAS HOT WATER SYSTEM WITH A FIVE STAR ENERGY RATING.

**WATER TANK:**

A MINIMUM OF 5000ltr WATER TANK WHEN REQUIRED BY THE LOCAL AUTHORITY TO A NEW CLASS 1 BUILDING



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**DATE:** \_\_\_\_ / \_\_\_\_ / 2024

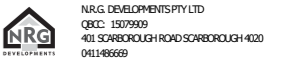
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Client

Project Name: **THE THOMPSON 198 LHS**

Version: **GABLE ROOF FACADE C**

Revision: **V NCC 23**

Lot Designation: **R1 15-8-24**

**LOT 2 HEARALD STREET**

**LOT 2 HEARALD STREET KALLANGUR**

Drawing Title:

**NOTES**

Scale: as noted

Date: 15/08/2024

Status: CONSTRUCTION

Drawn By: NRG

Project No:

Drawing No.:

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**9 OF 9**

Plot Date:




15/08/2024

**CONSTRUCTION**

Lot 2 Herald Street, Kallangur  
18th of May 2026

We have assessed the rental value of this property based on a comprehensive analysis of comparable properties, current market conditions, vacancy levels and local market trends. This assessment provides a realistic and market aligned rental estimate, designed to support timely leasing while maximizing the overall return on your investment.


The final rental outcome may be influenced by several factors, including the time of year the property is made available for lease, the preferred tenant profile and lease details such as term, commencement date and current market conditions.

 4 Bed  2 Bath  2 Car **Recommeneded Rent \$650 - \$700 Per Week**

If you have any questions regarding this appraisal, please do not hesitate to contact our office.

Kind Regards,

Australian Residential Group

 1300 739 804

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Disclaimer: The estimate is based upon the research conducted and information supplied at the time and is reflective of the current rental market in relation to supply & demand. Whilst every care is taken in the preparation of this document from information and sources, we believe to be correct, we do not accept any legal responsibility for any error or omission, which may inadvertently occur.